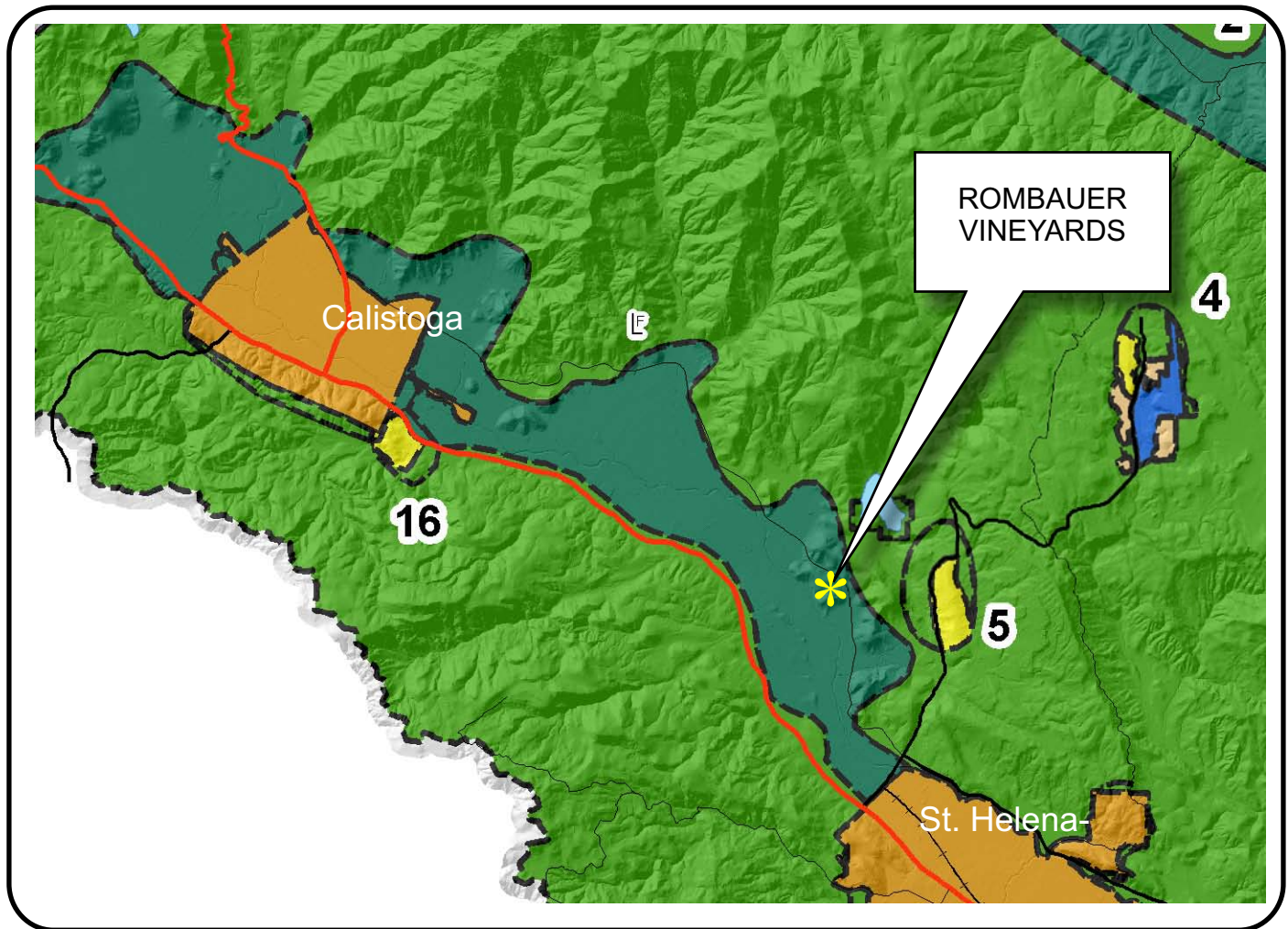


NAPA COUNTY LAND USE PLAN 2008 - 2030



LEGEND

URBANIZED OR NON-AGRICULTURAL

- Cities
- Urban Residential *
- Rural Residential *
- Industrial
- Public-Institutional
- Study Area

OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

TRANSPORTATION

- Mineral Resource
- Railroad
- Limited Access Highway
- Major Road
- Secondary Road
- Airport
- Airport Clear Zone
- Landfill - General Plan

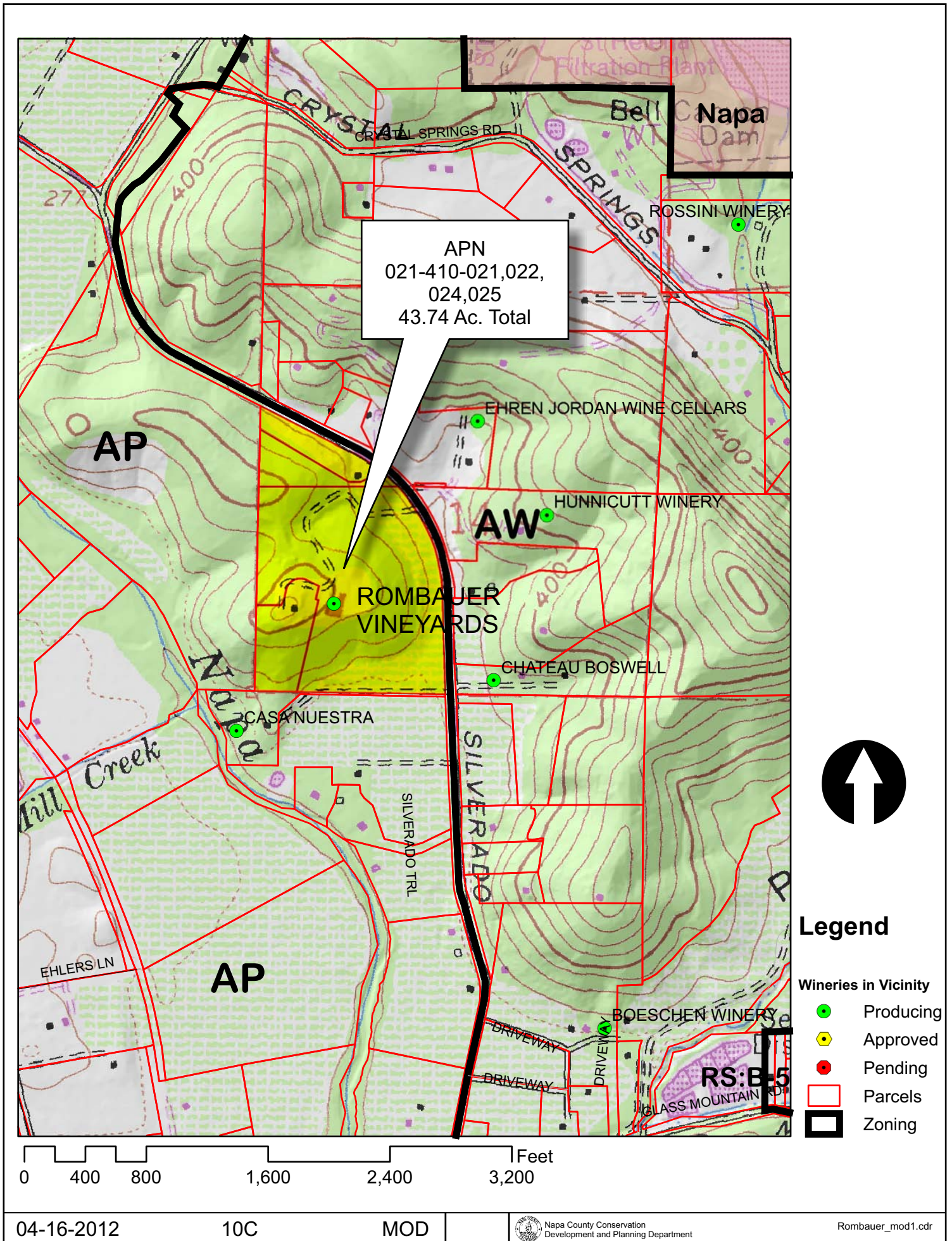
* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations

APN
021-410-025
04-16-2012
10C MOD

SCALE IN MILES
0 2



ROMBAUER VINEYARDS



ROMBAUER VINEYARDS

APN 021-410-003

APN 021-380-001

APN 021-410-024

EXISTING SHED

EXISTING RESIDENCE

APPROXIMATE PROPERTY LINE

PROPOSED
MIDDLE
PARKING AREA

PROPOSED
UPPER PARKING
AREA

(E) POOL
EXISTING
POOL HOUSE

APN 021-410-022

150,000 GALLON
WATER TANK
(NOT A PART OF
THESE PLANS)

APPROXIMATE
LOCATION OF
EXISTING WELL

APN 021-410-021

EXISTING
ACCESS
ROAD

APN 021-410-025

EXISTING
WATER TANK

EXISTING
SHED

EXISTING
WINERY
BUILDING

PROPOSED
LOWER PARKING
AREA

EXISTING PV
INVERTER PAD

PROPOSED
GATED
ACCESS

PROPOSED
SOILS DISPOSAL
AREA

EXISTING
RESIDENCE

PROPOSED
ADMINISTRATION
BUILDING

EXISTING
COVERED TRASH
COLLECTION AREA

EXISTING
WELL

EXISTING
VINEYARD

APN 021-380-025

EXISTING
VINEYARD

EXISTING SEPTIC /
PROCESS WASTE
DISPOSAL FIELD

EXISTING
VINEYARD

APPROXIMATE PROPERTY LINE

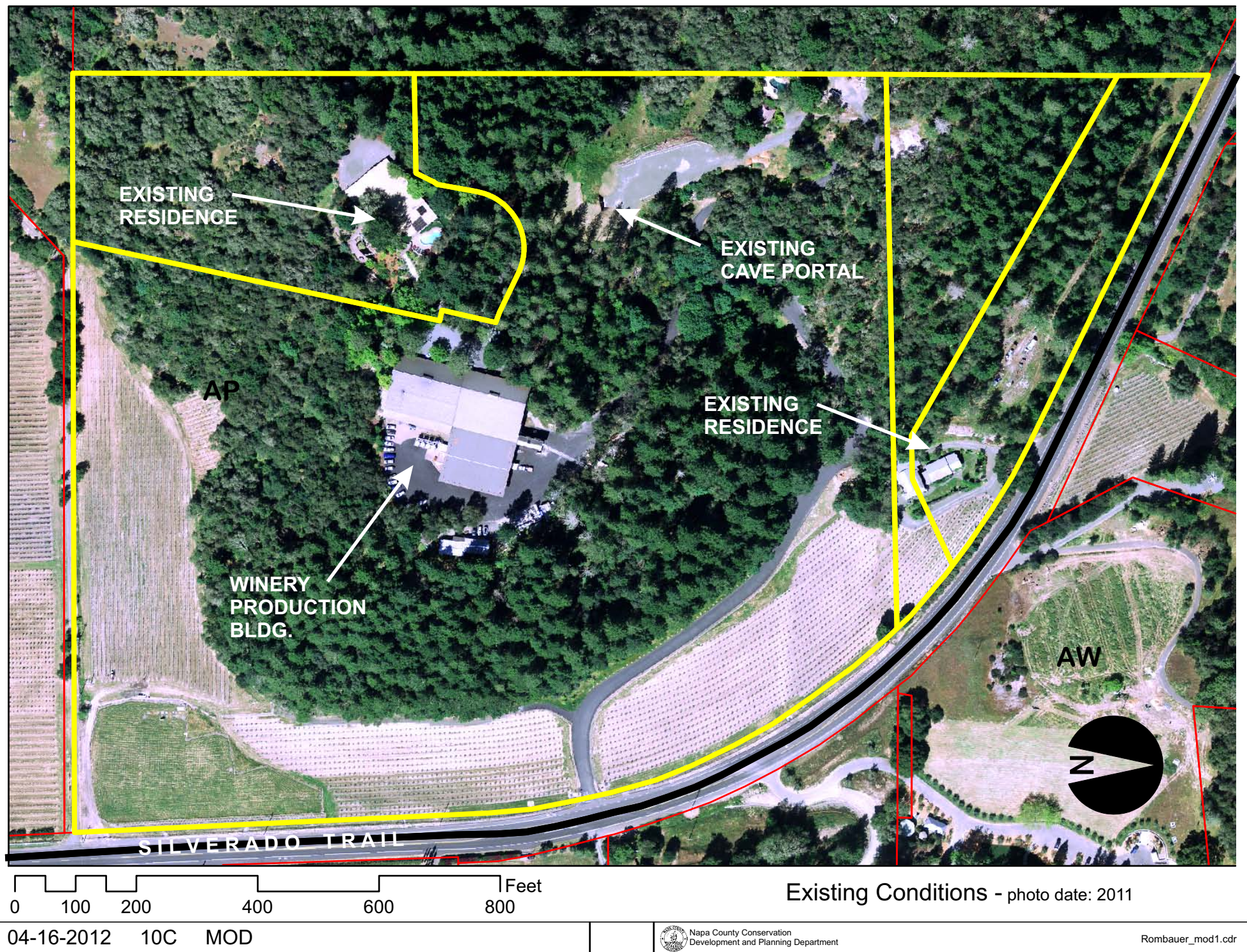
SILVERADO TRAIL

APPROXIMATE
LOCATION OF
CENTERLINE

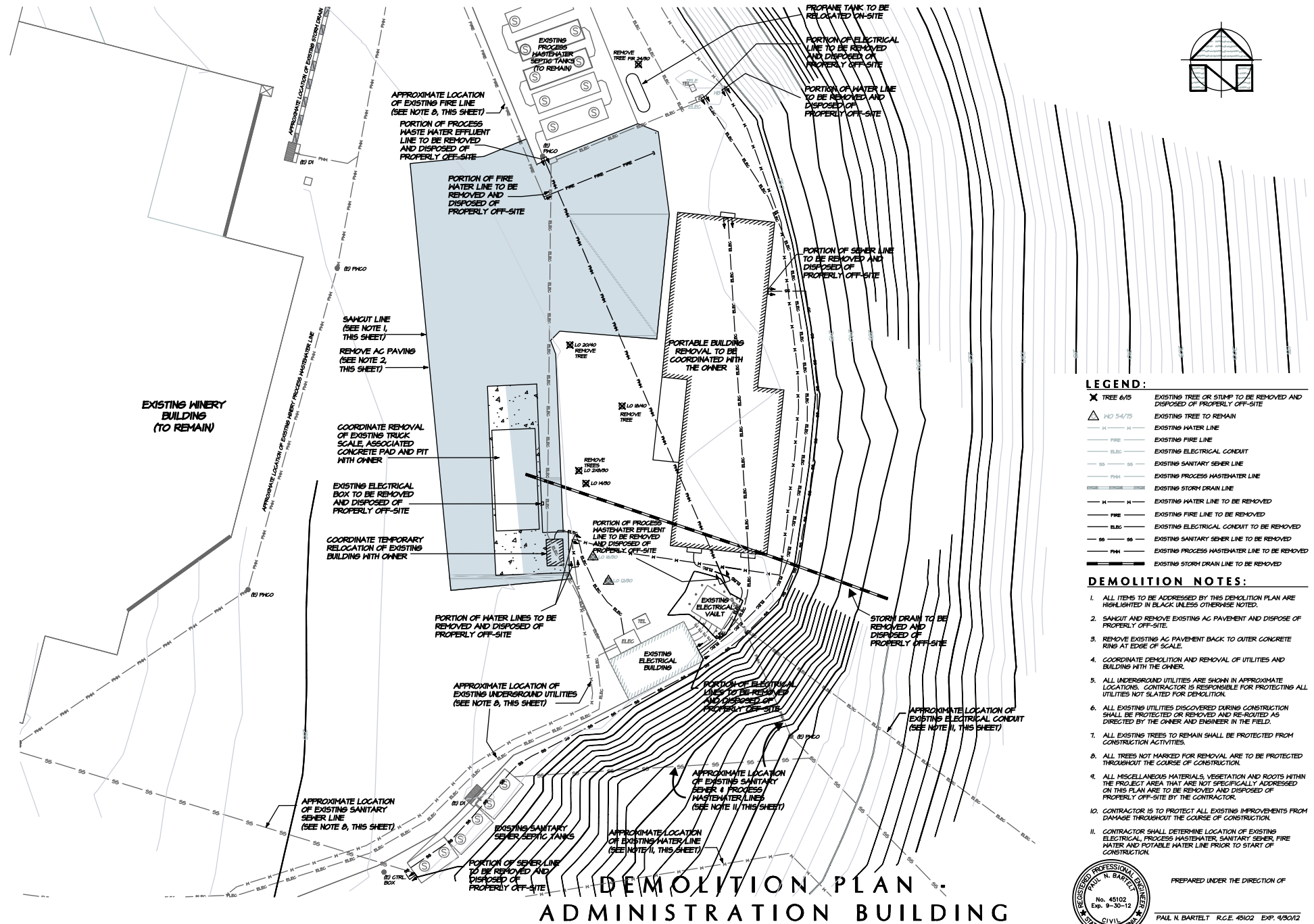
OVERALL SITE PLAN



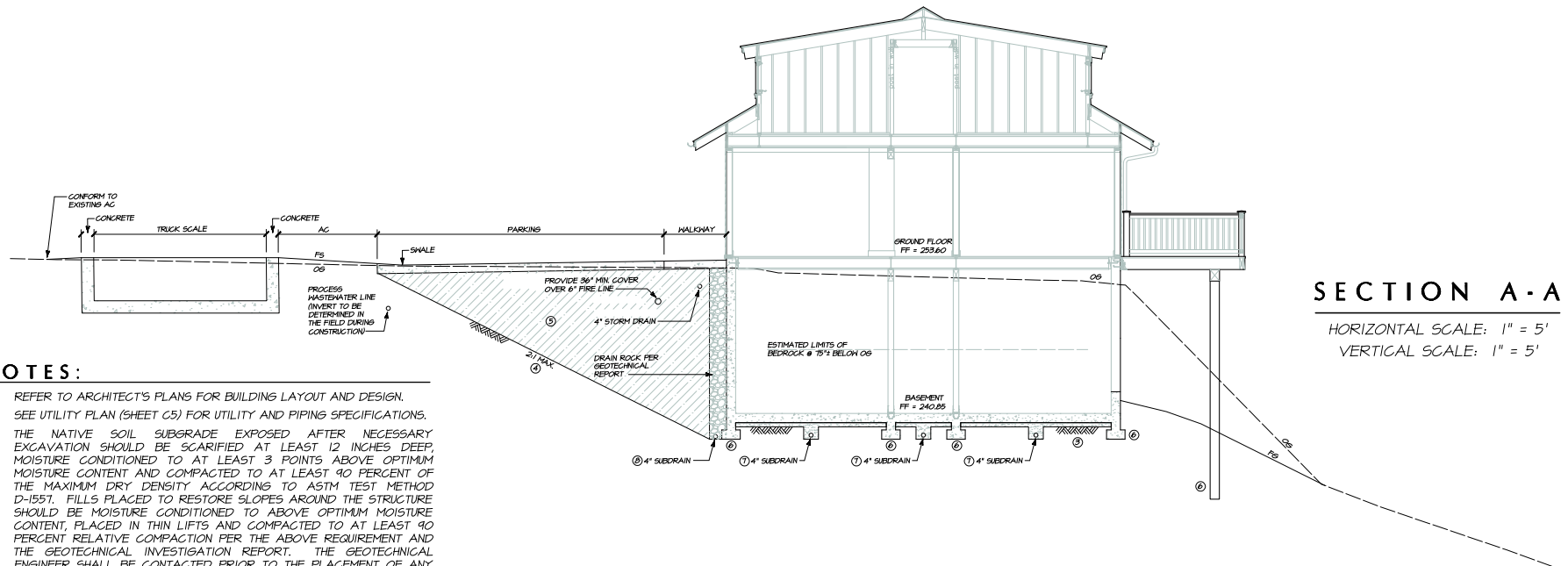
ROMBAUER VINEYARDS



ROMBAUER VINEYARDS

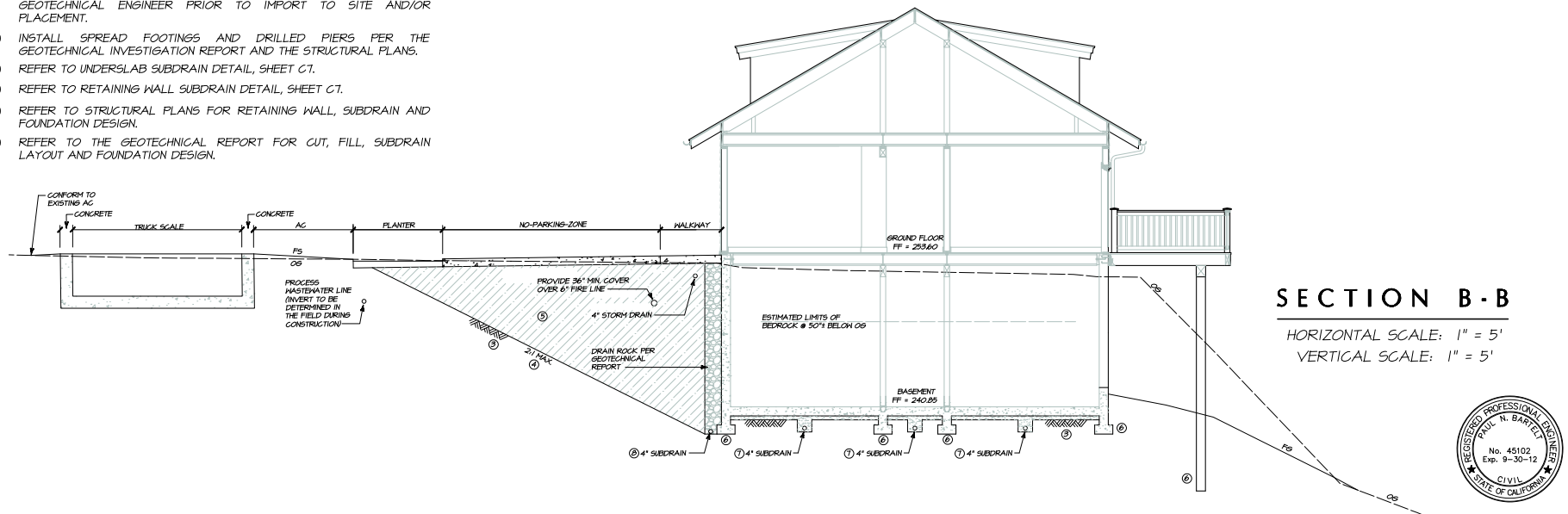


ROMBAUER VINEYARDS

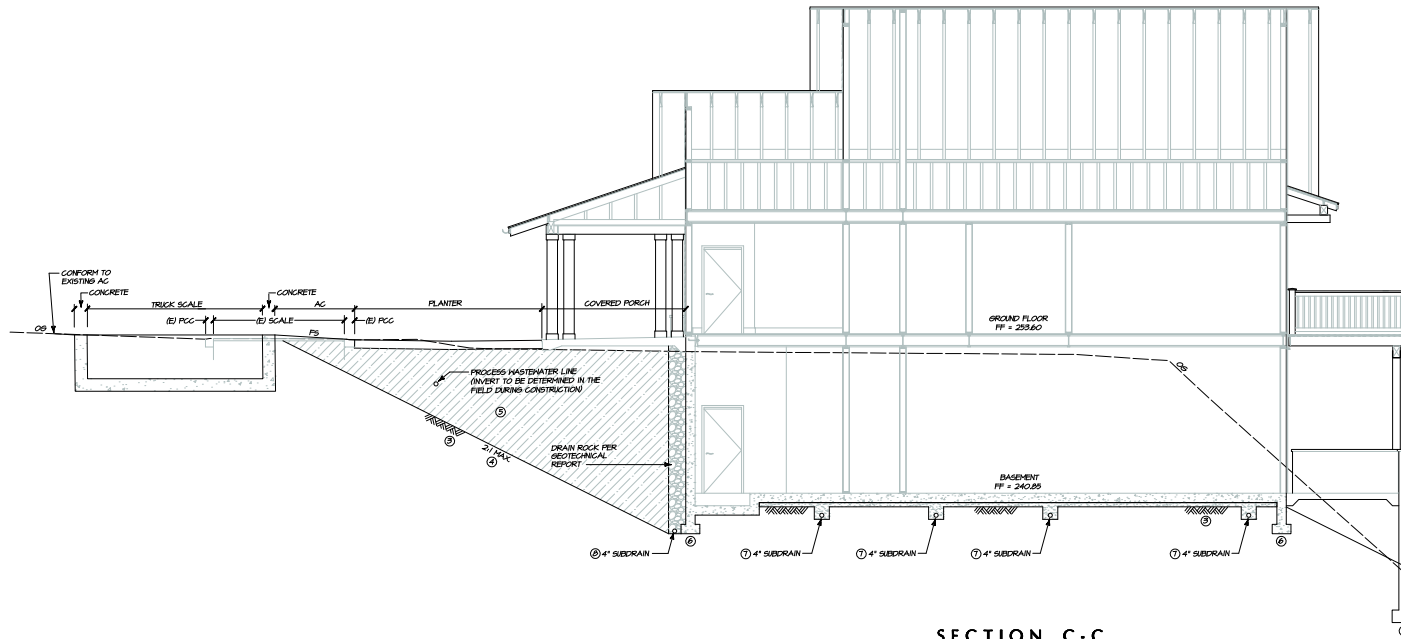


NOTES:

1. REFER TO ARCHITECT'S PLANS FOR BUILDING LAYOUT AND DESIGN.
2. SEE UTILITY PLAN (SHEET C5) FOR UTILITY AND PIPING SPECIFICATIONS.
- ③ THE NATIVE SOIL SUBGRADE EXPOSED AFTER NECESSARY EXCAVATION SHOULD BE SCARIFIED AT LEAST 12 INCHES DEEP, MOISTURE CONDITIONED TO AT LEAST 3 POINTS ABOVE OPTIMUM MOISTURE CONTENT AND COMPACTED TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY ACCORDING TO ASTM TEST METHOD D-1557. FILLS PLACED TO RESTORE SLOPES AROUND THE STRUCTURE SHOULD BE MOISTURE CONDITIONED TO ABOVE OPTIMUM MOISTURE CONTENT, PLACED IN THIN LIFTS AND COMPACTED TO AT LEAST 90 PERCENT RELATIVE COMPACTION PER THE ABOVE REQUIREMENT AND THE GEOTECHNICAL INVESTIGATION REPORT. THE GEOTECHNICAL ENGINEER SHALL BE CONTACTED PRIOR TO THE PLACEMENT OF ANY FILL.
- ④ PERMANENT CUT AND FILL SLOPES SHOULD NOT BE CONSTRUCTED STEEPER THAN 2:1 HORIZONTAL TO VERTICAL. CUT SLOPES FOR TEMPORARY EXCAVATIONS SHOULD CONFORM TO OSHA REGULATIONS. THE STABILITY OF TEMPORARY CONSTRUCTION SLOPES AND OF ADJACENT EXISTING FOUNDATIONS AND STRUCTURES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. SHORING OF CUTS AND UNDERPINNING OF ADJACENT IMPROVEMENTS SHOULD BE PROVIDED WHERE NECESSARY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FOR SAFE WORKING CONDITIONS.
- ⑤ ALL IMPORTED AND/OR SELECT FILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO IMPORT TO SITE AND/OR PLACEMENT.
- ⑥ INSTALL SPREAD FOOTINGS AND DRILLED PIERS PER THE GEOTECHNICAL INVESTIGATION REPORT AND THE STRUCTURAL PLANS.
- ⑦ REFER TO UNDERSLAB SUBDRAIN DETAIL, SHEET C7.
- ⑧ REFER TO RETAINING WALL SUBDRAIN DETAIL, SHEET C7.
- ⑨ REFER TO STRUCTURAL PLANS FOR RETAINING WALL, SUBDRAIN AND FOUNDATION DESIGN.
- ⑩ REFER TO THE GEOTECHNICAL REPORT FOR CUT, FILL, SUBDRAIN LAYOUT AND FOUNDATION DESIGN.

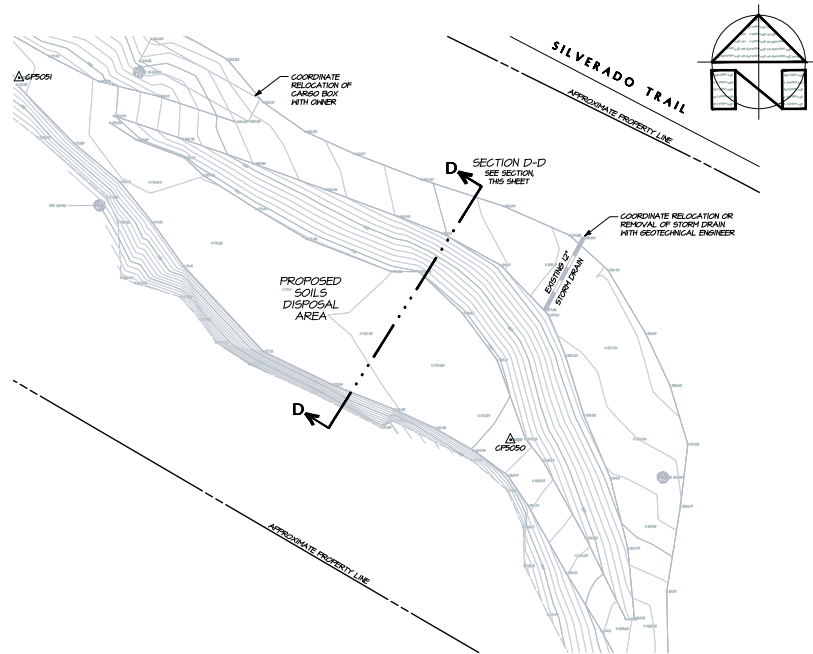


ROMBAUER VINEYARDS



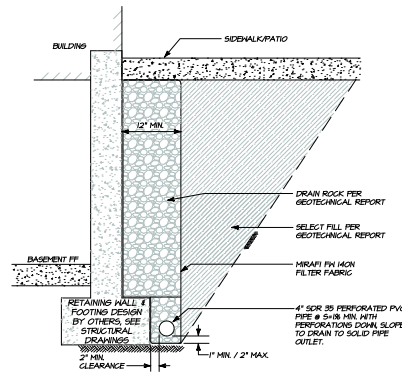
SECTION C-C

HORIZONTAL SCALE: 1" = 5'
VERTICAL SCALE: 1" = 5'



SOILS DISPOSAL AREA

SCALE: 1" = 20'

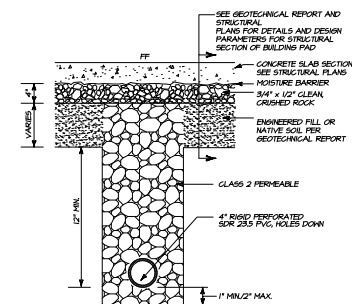


RETAINING WALL AREA DRAIN & SUBDRAIN DETAIL

NO SCALE

SECTION D-D

HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 10'



UNDER SLAB SUBDRAIN DETAIL

NO SCALE

NOTES:

1. REFER TO ARCHITECT'S PLANS FOR BUILDING LAYOUT AND DESIGN.
2. SEE UTILITY PLAN (SHEET C5) FOR UTILITY AND PIPING SPECIFICATIONS.
3. THE NATIVE SOIL SUBGRADE EXPOSED AFTER NECESSARY EXCAVATION SHOULD BE SCARIFIED AT LEAST 12 INCHES DEEP, MOISTURE CONDITIONED TO AT LEAST 3 POINTS ABOVE OPTIMUM MOISTURE CONTENT AND COMPACTED TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY ACCORDING TO ASTM TEST METHOD D-1557. FILLS PLACED TO RESTORE SLOPES AROUND THE STRUCTURE SHOULD BE MOISTURE CONDITIONED TO ABOVE OPTIMUM MOISTURE CONTENT, PLACED IN THIN LIFTS AND COMPACTED TO AT LEAST 90 PERCENT RELATIVE COMPACTION PER THE ABOVE REQUIREMENT AND THE GEOTECHNICAL INVESTIGATION REPORT. THE GEOTECHNICAL ENGINEER SHALL BE CONTACTED PRIOR TO THE PLACEMENT OF ANY FILL.
4. PERMANENT CUT AND FILL SLOPES SHOULD NOT BE CONSTRUCTED STEEPER THAN 2:1 HORIZONTAL TO VERTICAL. CUT SLOPES FOR TEMPORARY EXCAVATIONS SHOULD CONFORM TO OSHA REGULATIONS. THE STABILITY OF TEMPORARY CONSTRUCTION SLOPES AND OF ADJACENT EXISTING FOUNDATIONS AND STRUCTURES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. SHORINGS OF CUTS AND UNDERPINNING OF ADJACENT IMPROVEMENTS SHOULD BE PROVIDED WHERE NECESSARY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FOR SAFE WORKING CONDITIONS.
5. ALL IMPORTED AND/OR SELECT FILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO IMPORT TO SITE AND/OR PLACEMENT.
6. INSTALL SPREAD FOOTINGS AND DRILLED PIERS PER THE GEOTECHNICAL INVESTIGATION REPORT AND THE STRUCTURAL PLANS.
7. REFER TO UNDERSLAB SUBDRAIN DETAIL, SHEET C7.
8. REFER TO RETAINING WALL SUBDRAIN DETAIL, SHEET C7.
9. REFER TO STRUCTURAL PLANS FOR RETAINING WALL, SUBDRAIN AND FOUNDATION DESIGN.
10. REFER TO THE GEOTECHNICAL REPORT FOR CUT, FILL, SUBDRAIN LAYOUT AND FOUNDATION DESIGN.



ROMBAUER VINEYARDS



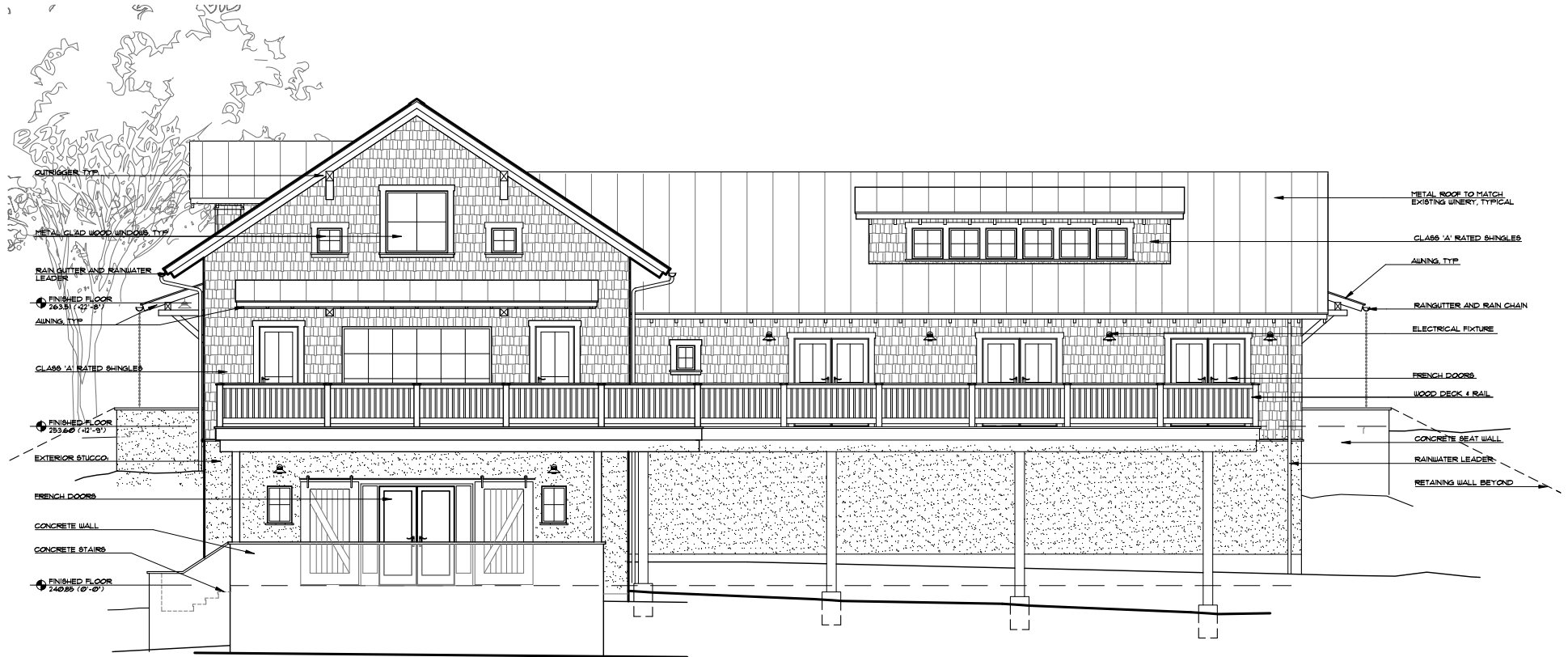
1 ADMINISTRATIVE OFFICE BUILDING: WEST/ENTRY ELEVATION

ROMBAUER VINEYARDS



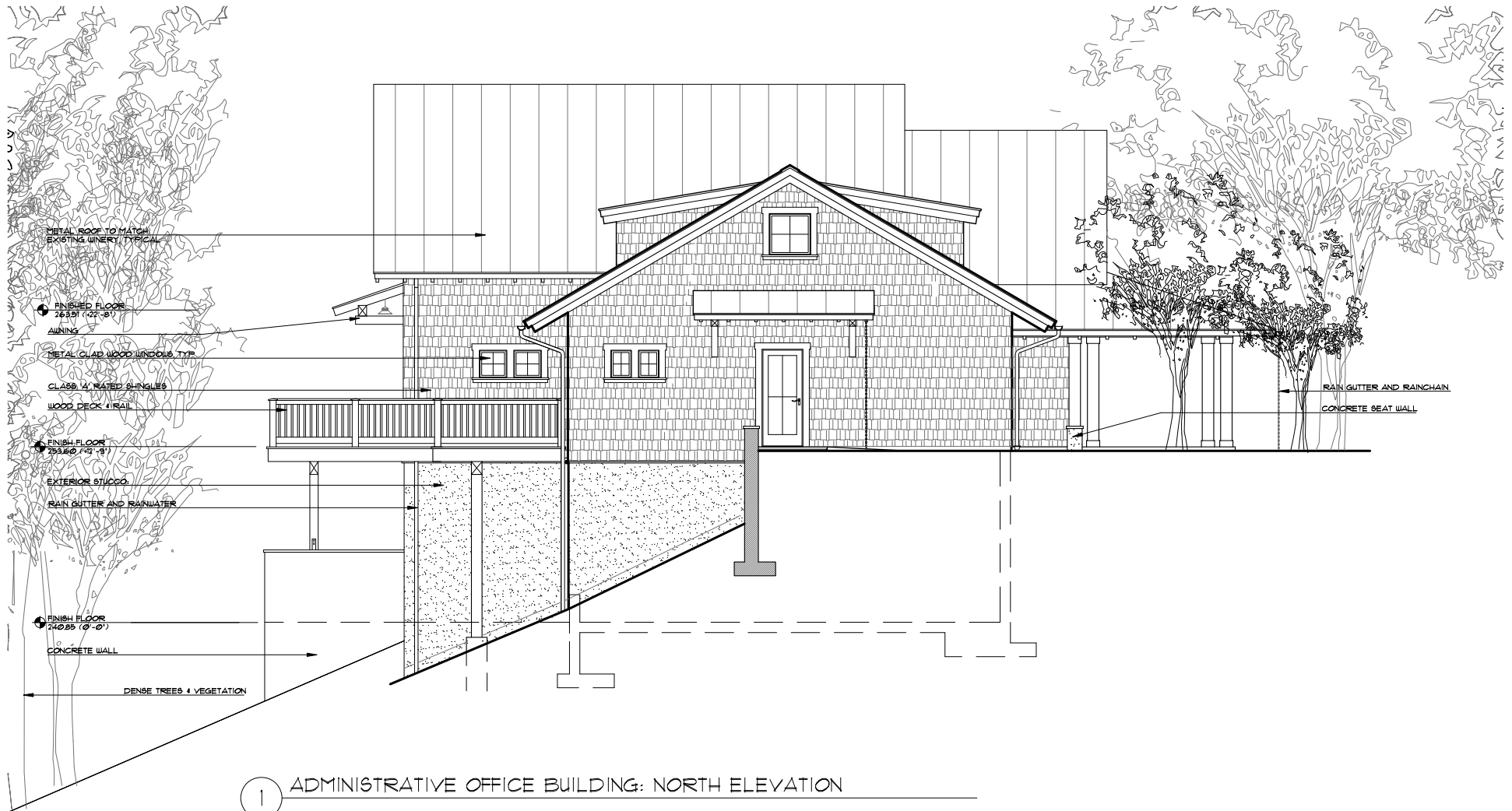
1 ADMINISTRATIVE OFFICE BUILDING: SOUTH ELEVATION

ROMBAUER VINEYARDS



1 ADMINISTRATIVE OFFICE BUILDING: EAST/REAR ELEVATION (Not visible from Silverado Trail)

ROMBAUER VINEYARDS



The floor plan shows a rectangular building with various rooms and outdoor spaces. Key features include:

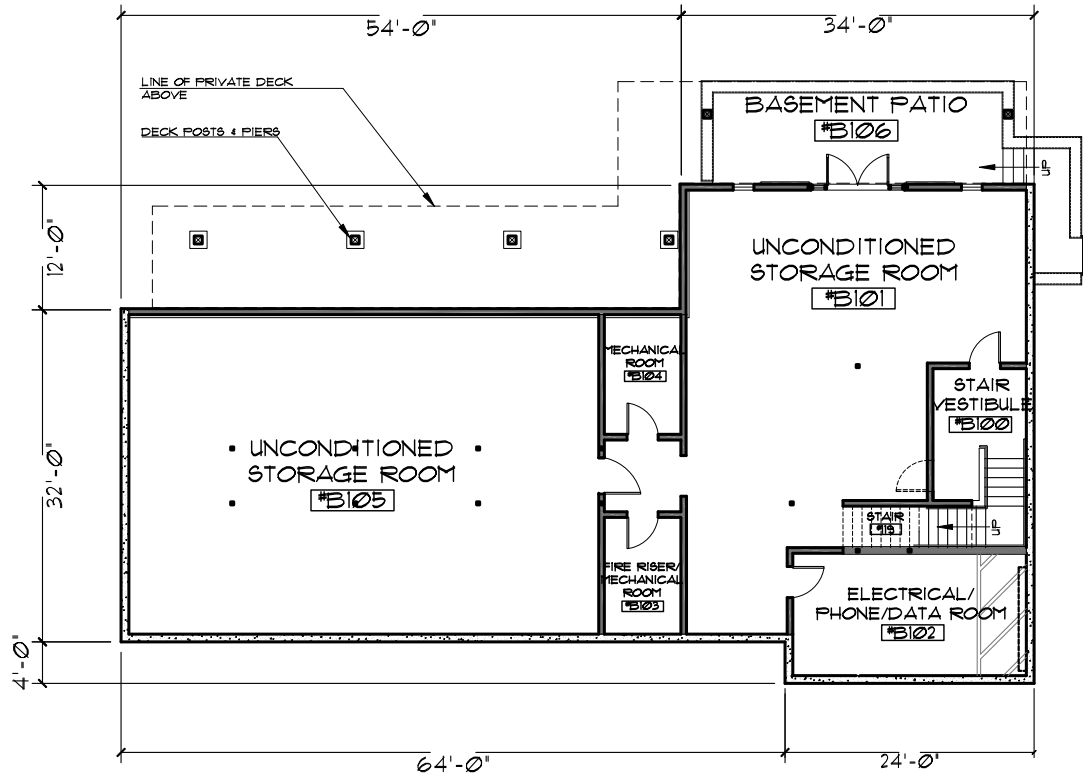
- Rooms and Spaces:** PRIVATE DECK #18, CONFERENCE ROOM #16, EMPLOYEE KITCHEN #15, RESTROOM #12, RESTROOM #13, VESTIBULE #14, HALLWAY #22, LOBBY #21, ENTRY PORCH #00, ADMINISTRATIVE STORAGE #120, OFFICE #03, OFFICE #04, OFFICE #05, EXECUTIVE OFFICE #08, EXECUTIVE OFFICE #09, EXECUTIVE OFFICE #10, COPY ROOM #11, VESTIBUL #06, EMPLOYEE RESTROOM #07.
- Dimensions:** Overall width is 54'-0" and depth is 34'-0".
- Landscaping:** Areas labeled LANDSCAPING are shown outside the building, including a large area near the entry porch and smaller areas along the right side.
- Stairs:** A staircase labeled STAIR #20 is located near the administrative storage room.
- Other Features:** A wheelchair symbol is shown in the lower left corner, indicating accessibility. A "LINE OF ROOF ABOVE" is indicated on the left side.

WALL TYPE LEGEND:

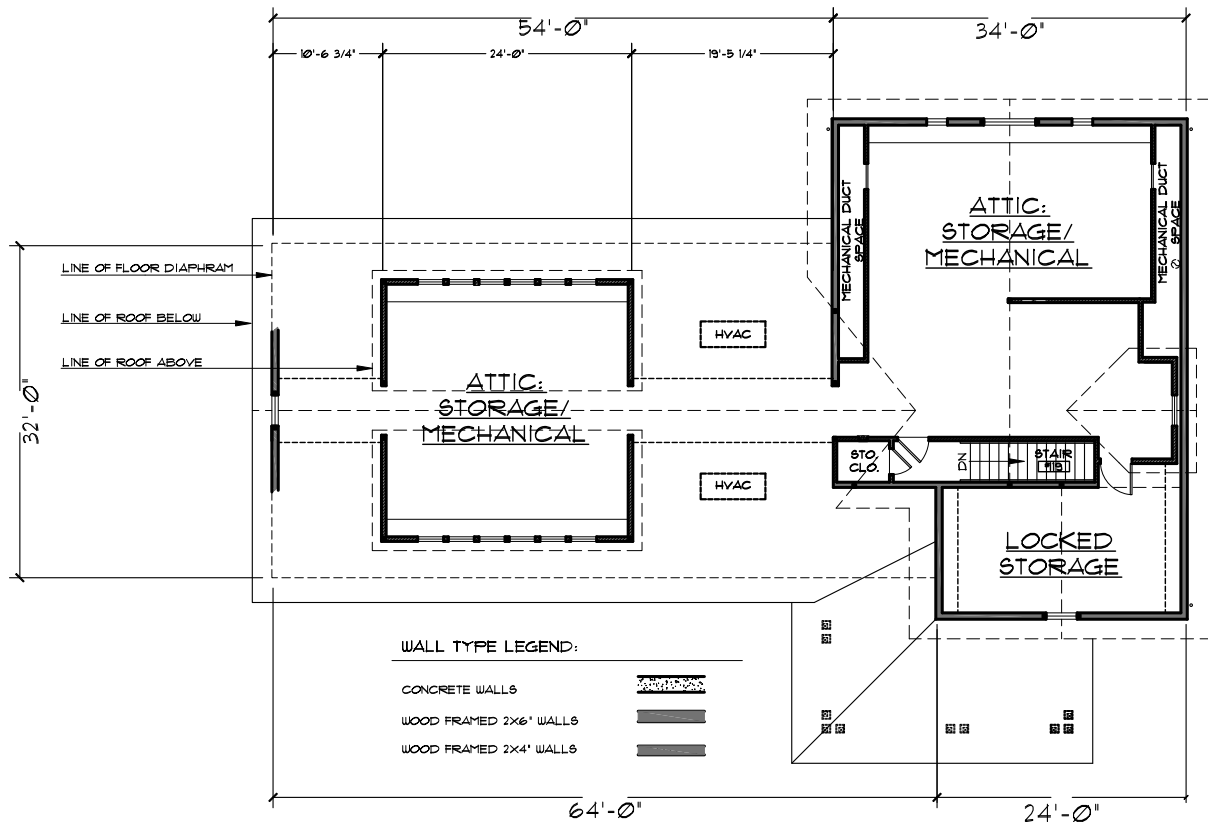
- WOOD FRAMED 2x6" WALLS (represented by a solid black line)
- WOOD FRAMED 2x4" WALLS (represented by a dashed black line)

ADMINISTRATIVE OFFICE BUILDING: MAIN LEVEL FLOOR PLAN

ROMBAUER VINEYARDS

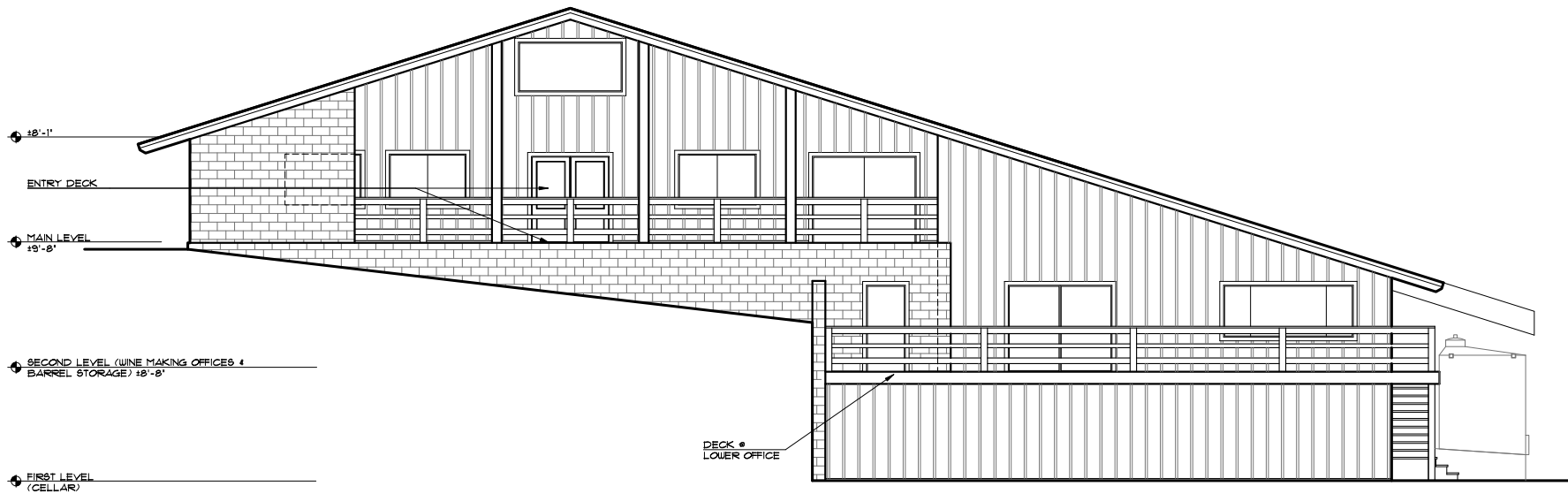


1 ADMINISTRATIVE OFFICE BUILDING: BASEMENT PLAN

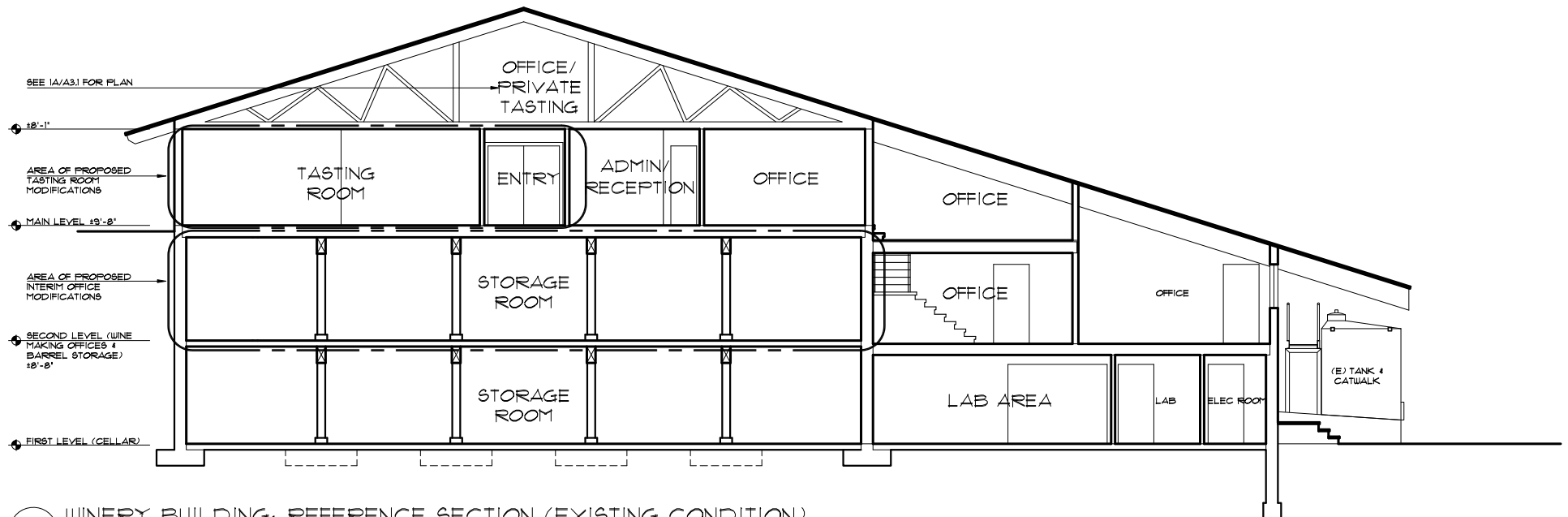


2 ADMINISTRATIVE OFFICE BUILDING: ATTIC PLAN

ROMBAUER VINEYARDS



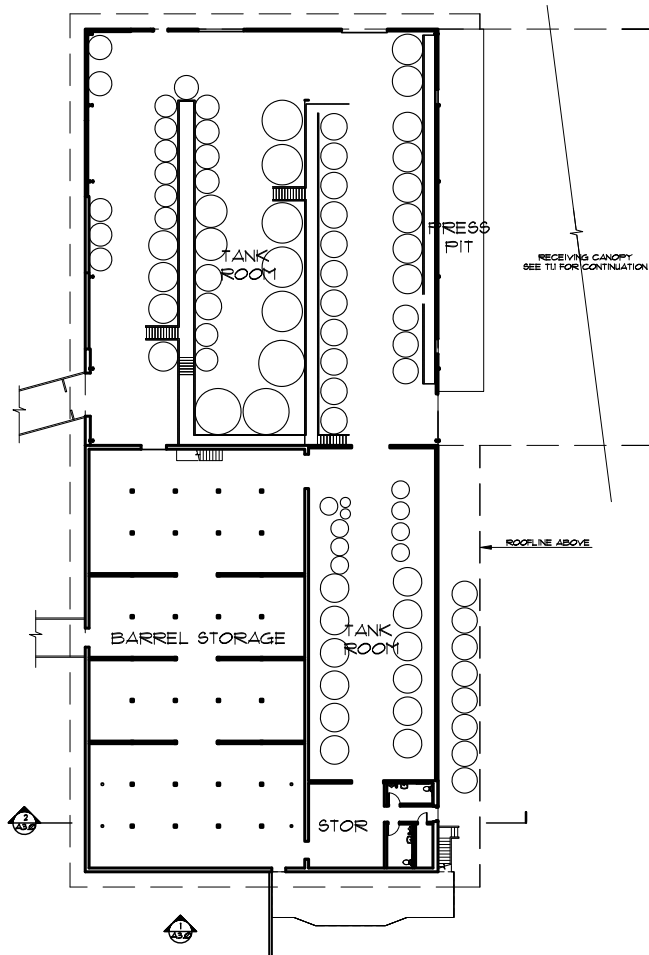
1 WINERY BUILDING: SOUTH ELEVATION (REFERENCE/ EXISTING CONDITION)



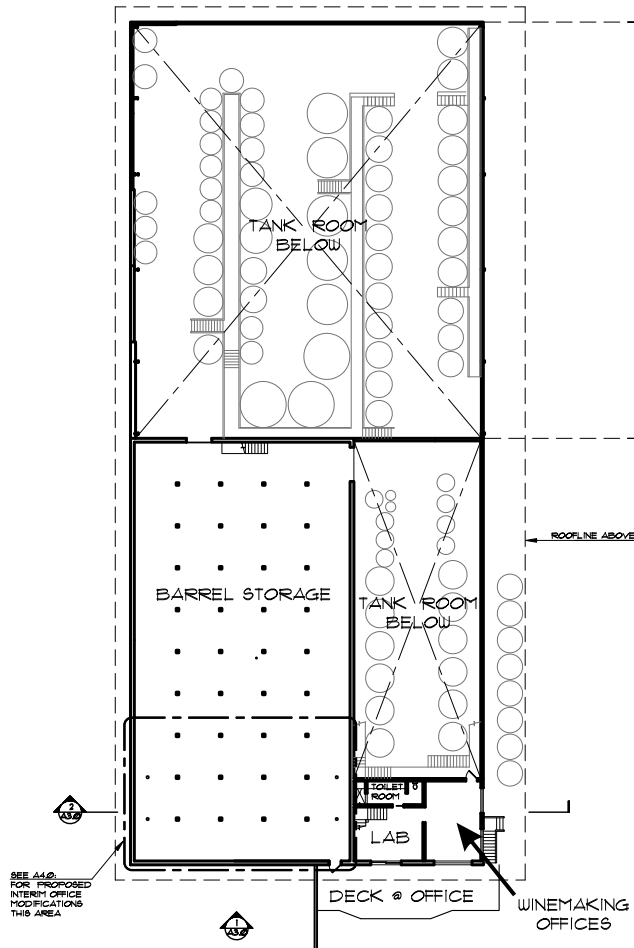
2 WINERY BUILDING: REFERENCE SECTION (EXISTING CONDITION)

NOTE: Section is based on partial drawing set provided by the owner

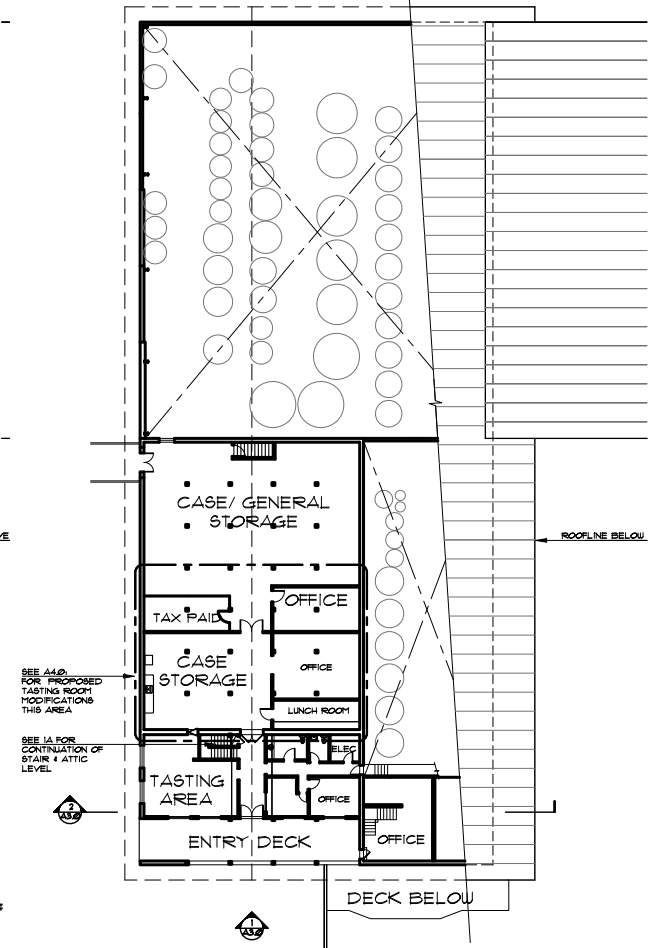
ROMBAUER VINEYARDS



1 FIRST LEVEL: NO CHANGE
FLOOR AREA: 20,210SF + 10,011SF CANOPY + 3,028SF



2 SECOND LEVEL
FLOOR AREA: 1,340SF

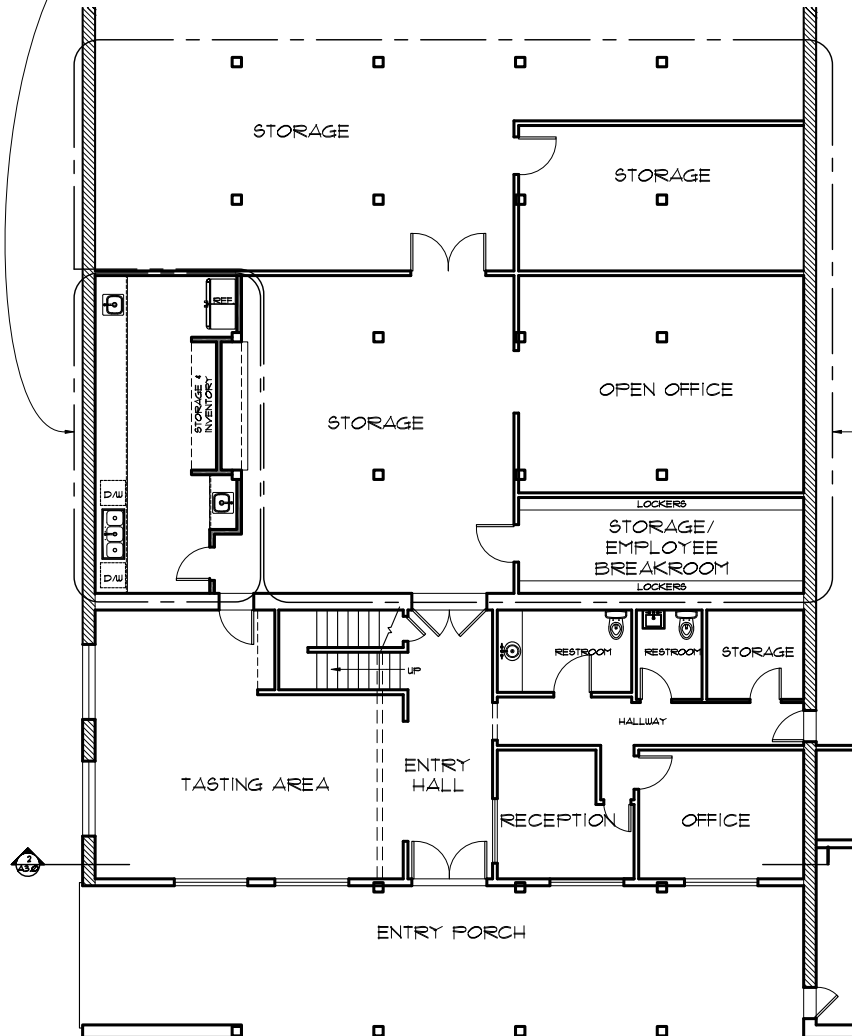


3 THIRD LEVEL
FLOOR AREA: 6,655SF

WINERY BUILDING EXISTING CONDITIONS PLANS

ROMBAUER VINEYARDS

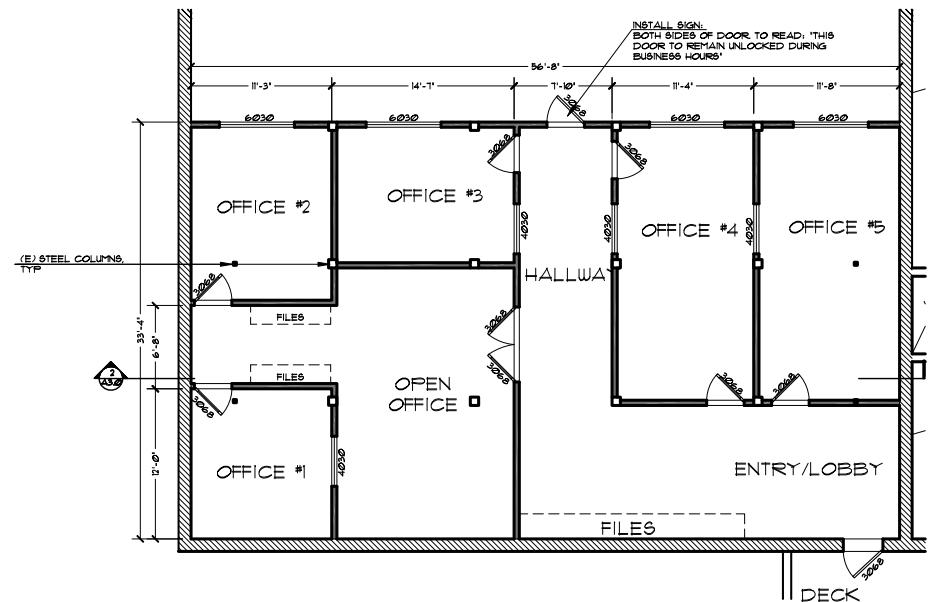
PHASE ONE:
PROPOSED PREP/
DISHWASHING AREA.
PARTITION OFF (E) GLASS
WASHING AREA ±350SF. ADD
REF, EXPANDED COUNTER, &
HAND SINK PER CURFFL &
NAPA E.H. REGULATIONS



PHASE TWO:
PROPOSED FUTURE
TASTING ROOM
EXPANSION ±2,500 SF

WALL TYPE LEGEND:

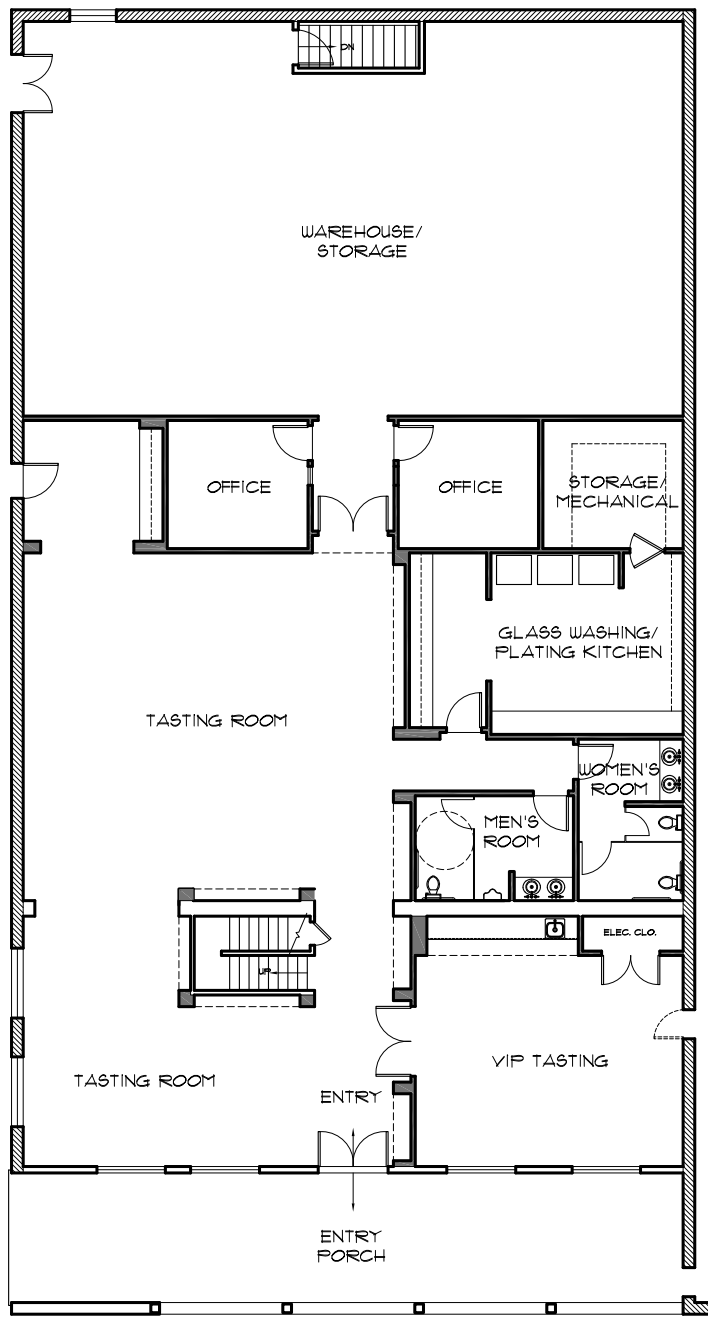
EXISTING CMU CONSTRUCTION
EXISTING WOOD CONSTRUCTION
EXISTING CONSTRUCTION, TO BE
REMOVED
NEW CONSTRUCTION:
2X4 STUDS @ 16" O.C.



1 PROPOSED TASTING ROOM EXPANSION (THIRD LEVEL)

2 PROPOSED INTERIM OFFICE (SECOND LEVEL)

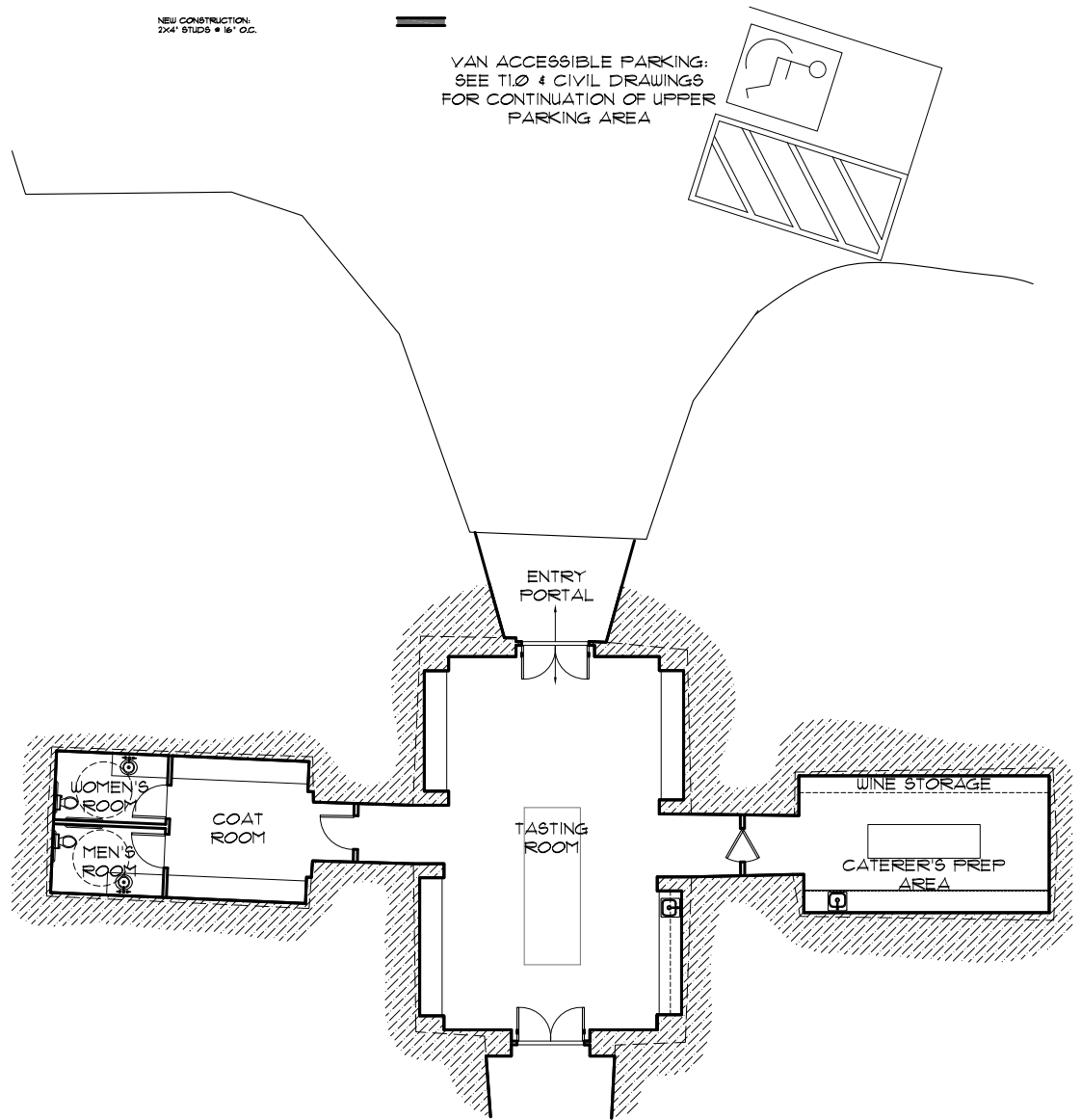
ROMBAUER VINEYARDS



WALL TYPE LEGEND:

EXISTING CMU CONSTRUCTION
 EXISTING WOOD CONSTRUCTION
 NEW CONSTRUCTION:
 2x4" STUDS @ 16" O.C.

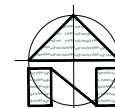
VAN ACCESSIBLE PARKING:
 SEE T10 & CIVIL DRAWINGS
 FOR CONTINUATION OF UPPER
 PARKING AREA



1 PHASE 2: TASTING ROOM EXPANSION

2 PRIVATE TASTING & DINING CAVE

ROMBAUER VINEYARDS



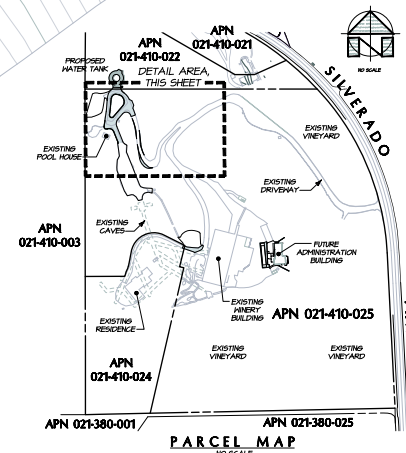
SCALE: 1" = 20'

APN 021-410-022

APPROXIMATE PROPERTY LINE

APN 021-410-025

APN
021-410-003



PROJECT INFORMATION:

PROPERTY OWNER/APPLICANT:
ROMBAUER VINEYARDS
C/O KOERNER ROMBAUER
3522 SILVERADO TRAIL
ST. HELENA, CA 94574

PROJECT ADDRESS:
3522 SILVERADO TRAIL
ST. HELENA, CA 94574

CIVIL ENGINEER:
BARTELT ENGINEERING
1303 JEFFERSON STREET, 200 B
NAPA, CA 94559
707-258-1301

ASSESSOR'S PARCEL NUMBER:
021-410-025

PARCEL SIZE:
31.85± ACRES

SHEET INDEX:

SHEET 1 ROAD EXCEPTION EXHIBIT - PLAN VIEW
SHEET 2 ROAD EXCEPTION EXHIBIT - PROFILES

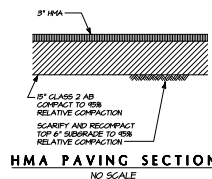


PREPARED UNDER THE DIRECTION OF

PAUL N. BARTELT R.G.E. 45102 EXP. 9/30/12

NOTES:

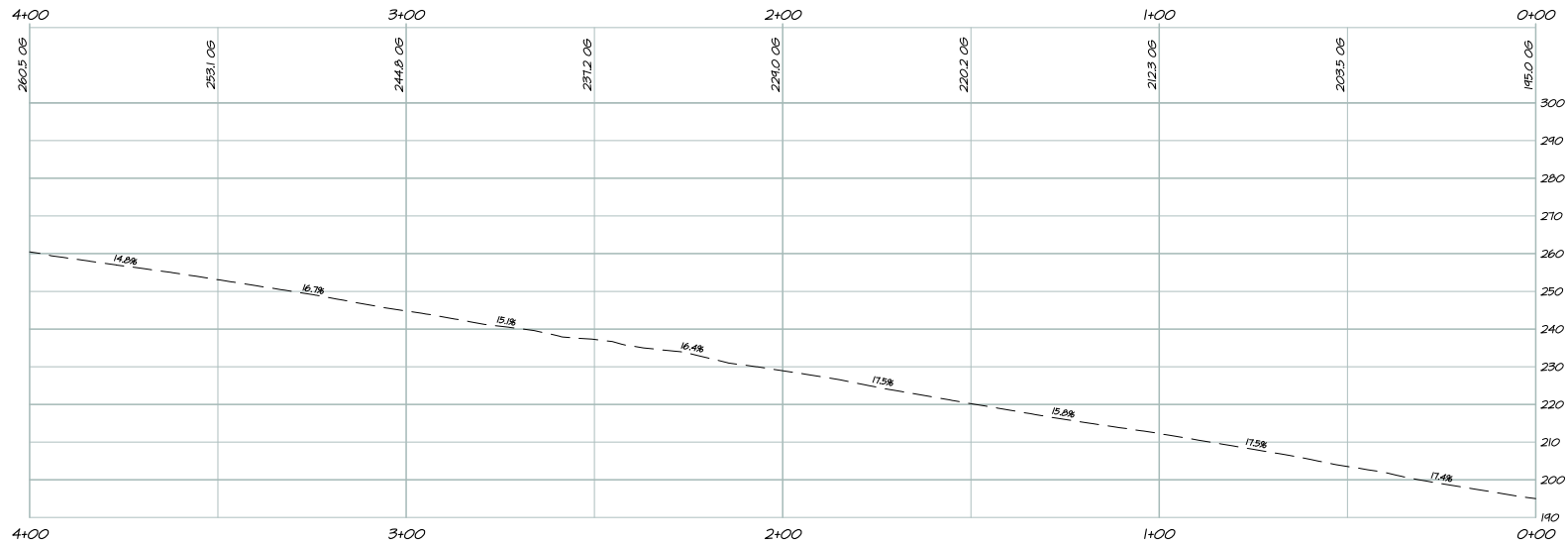
1. FADED BACKGROUND REPRESENTS EXISTING TOPOGRAPHIC FEATURES. THE TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM THE "MAP OF TOPOGRAPHY OF A PORTION OF THE LANDS OF ROMBAUER VINEYARDS", PREPARED BY ALBION SURVEYS, INC., DATED JANUARY 28, 2007 AND REVISED APRIL 2010, MAY 2010 & SEPTEMBER 2010.
2. FOR ADDITIONAL SITE INFORMATION, REFER TO "ROMBAUER VINEYARDS ADMINISTRATION BUILDING & SITE IMPROVEMENT PLAN" PREPARED BY BARTELT ENGINEERING.



ROAD EXCEPTION EXHIBIT PLAN VIEW

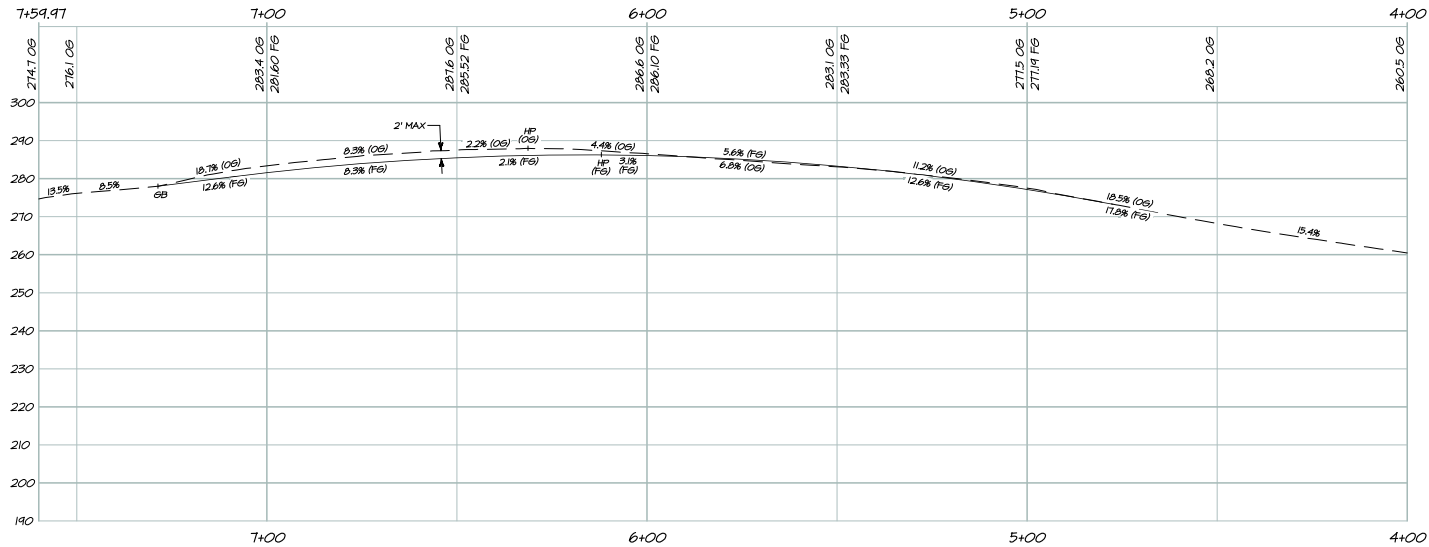


ROMBAUER VINEYARDS



ROAD EXCEPTION EXHIBIT - PROFILE STA 0+00 - STA 4+00

HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 20'



ROAD EXCEPTION EXHIBIT - PROFILE STA 4+00 - STA 7+59.97 (END)

HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 20'

